

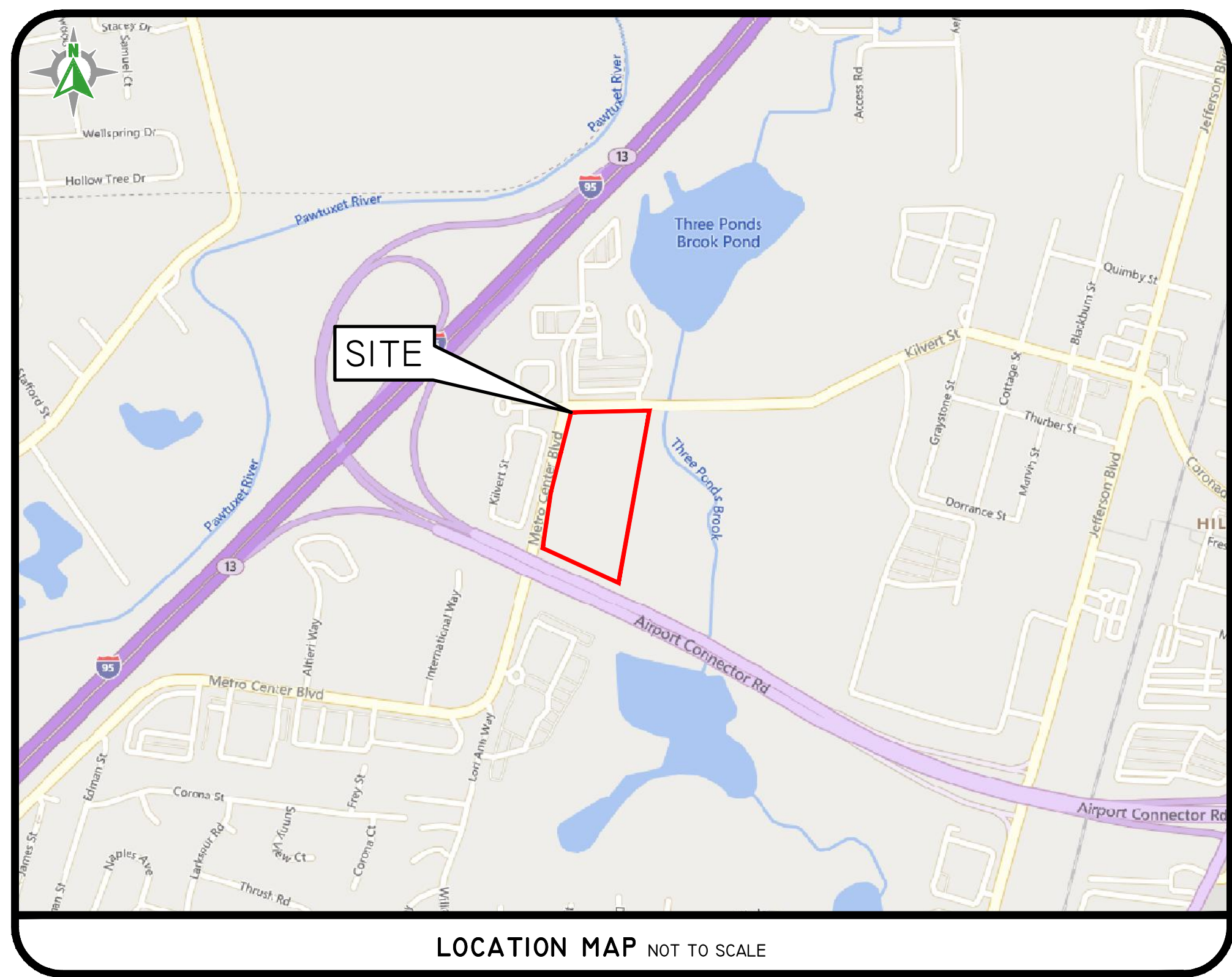
PRE-APPLICATION SUBMISSION

ONE METRO CENTER

0 METRO CENTER BLVD

WARWICK, RHODE ISLAND

ASSESSOR'S PLAT 278 LOT 145



- SHEET LIST TABLE
- 1 COVER SHEET

2 AERIAL AND HALF MILE RADIUS

3 EXISTING CONDITIONS PLAN

4 SITE LAYOUT PLAN

5 200' RADIUS MAP

6 LANDSCAPE PLAN & DETAILS

Z:\CERAMIPROJECTS\2625-007 ONE METRO CENTER BOULEVARD\AUTOCAD DRAWINGS\2625-007-MTR.DWG PLOT.TB 9/29/2020

COVER SHEET

ONE METRO CENTER BLVD
ASSESSOR'S PLAT 278 LOT 145
WARWICK, RHODE ISLAND

PREPARED FOR
AR BUILDING COMPANY
310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046
TEL 724-741-7307

DE 2625-007 2625-007 COPYRIGHT 2020 BY DIPRETE ENGINEERING ASSOCIATES, INC.

DESIGNED BY: K.P.R.

DRAWN BY: K.P.R.

CHECKED BY: B.D.C.

DATE: 09/29/20

DESCRIPTION: PRE-APPLICATION PLAN SUBMISSION

NO. 1

REGISTERED PROFESSIONAL ENGINEER CIVIL

BRANDON D. CARR

10/01/2018

9801

Diprete Engineering

Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

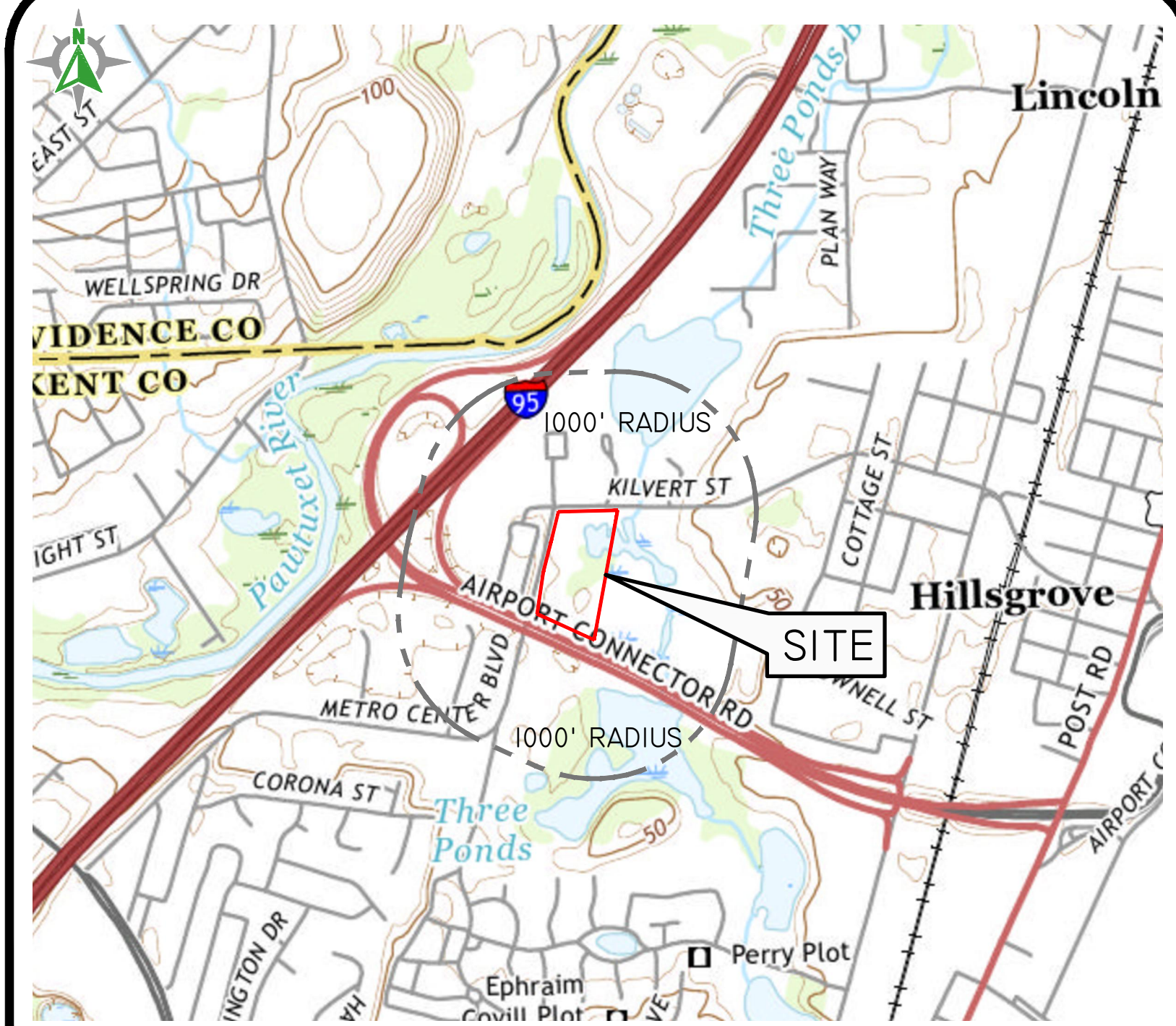
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PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 03/27/2021

SCALE: 1"=400'
0 200' 400' 800'



USGS MAP SCALE: 1"=1000'

AERIAL AND HALF MILE RADIUS

ONE METRO CENTER BLVD

ASSESSOR'S PLAT 278 LOT 145

WARWICK, RHODE ISLAND

PREPARED FOR

AR BUILDING COMPANY

310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046
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THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE PLANS AND SPECIFICATIONS. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND FOR ANY DAMAGES INCURRED DUE TO CLARIFICATIONS OF EXISTING UTILITIES.

NO. 1 DATE DESCRIPTION

03/27/21 ONE METRO CENTER BLVD SUBMISSION

DRAWN BY: K.M.R. DESIGN BY: B.D.C.

BRANDON D. CARR

REGISTERED PROFESSIONAL ENGINEER CIVIL

10/01/2010

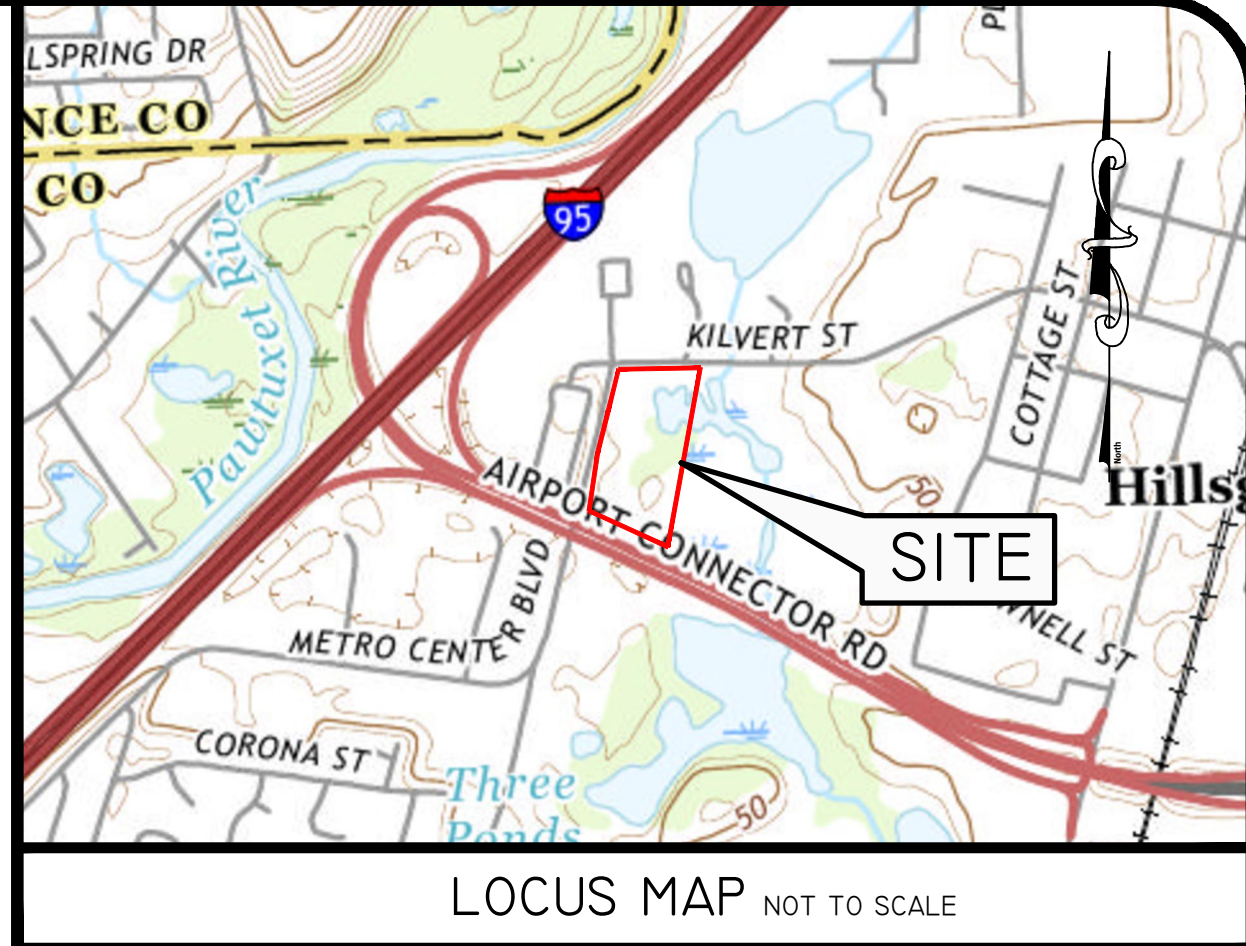
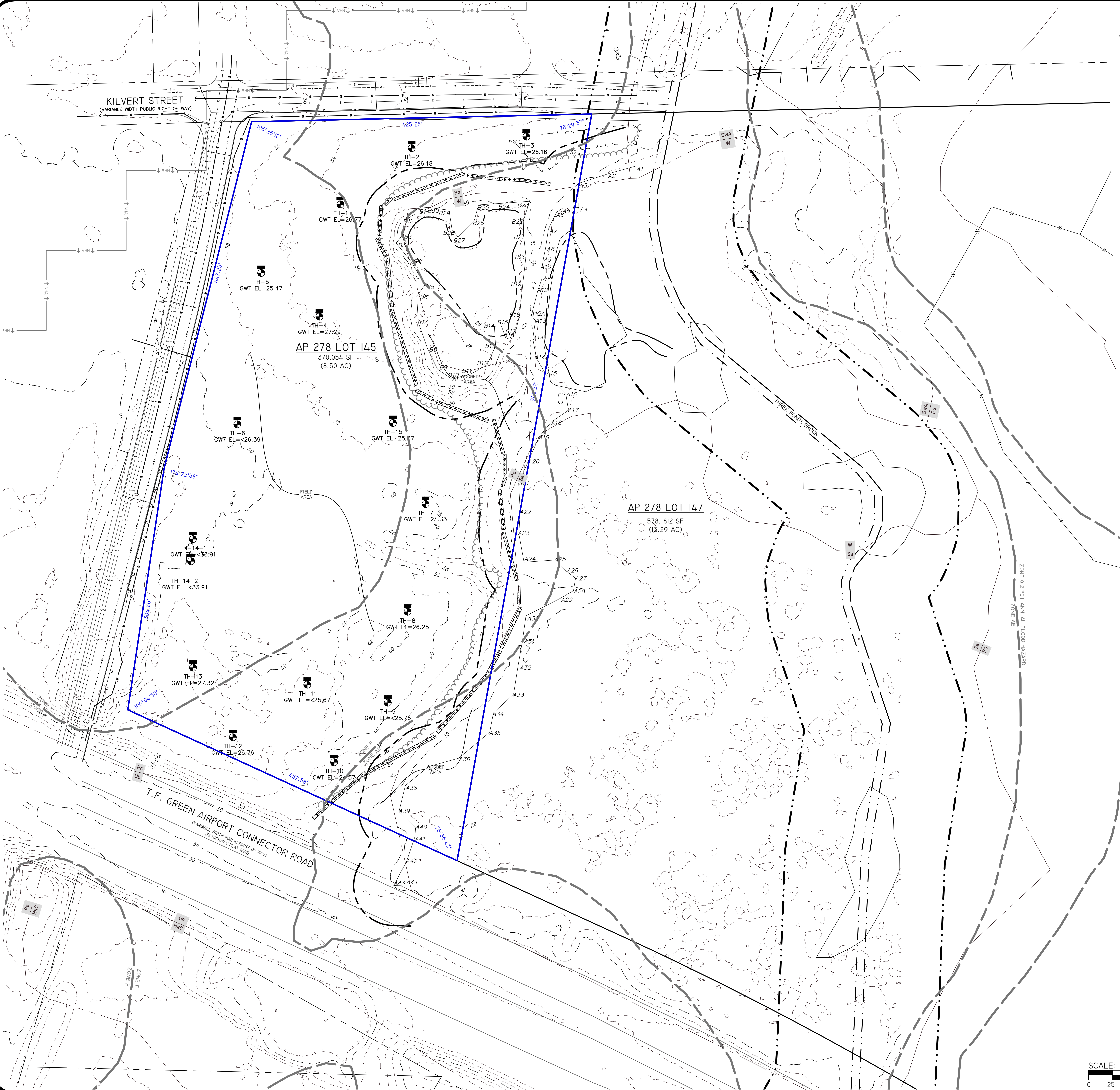
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GENERAL NOTES

1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 278 LOT 145 IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
2. THE OWNER OF AP 278 LOT 145 PER WARWICK GIS IS ONE METRO LLC.
3. THE PARCEL IS LOCATED IN ZONE X, X SHADED & AE (EL 25) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44003C0127G, DATED DECEMBER 3, 2010.
4. THE PARCEL IS ZONED G1 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
6. AP 278 LOT 145 FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON AUGUST 24, 28 AND SEPTEMBER 1, 2015. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

PLAN REFERENCES:

1. 'FINAL RECORD PLAN MINOR SUBDIVISION PLAN 745 JEFFERSON BOULEVARD PLAT AP 277 LOTS 1 & 3 AND AP 278 LOTS 4 & 115 WARWICK, RHODE ISLAND' BY DIPRETE ENGINEERING FOR WHIPPLE, METCALF AND BARNES, LLC 3675 S. RAINBOW BOULEVARD, SUITE 107-659, LAS VEGAS, NV 89103 SCALE: 1"=200' DATED SEPTEMBER 24, 2013.

DATUM NOTE:

1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

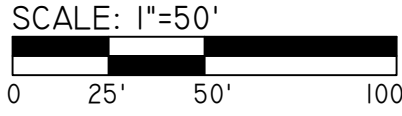
SOIL NAME DESCRIPTION

Pg	PITS, GRAVEL
SWA	SWANSEA MUCK, 0 TO 1 PERCENT SLOPES
SB	SCARBORO MUCKY SANDY LOAM
W	WATER

LEGEND

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING		▲/△	NAIL FOUND/SET
ASPHALT		●/●	DRILL HOLE FOUND/SET
AP	ASSESSOR'S PLAT	○/○	IRON ROD/PIPE FOUND/SET
N/F	NOW OR FORMERLY	■/■	BOUND FOUND/SET
(D)	DEED	●	SIGN
(M)	MEASURED	●	BOLLARD
(C)	CALCULATED	○ CB	SOIL EVALUATION
(CA)	CHORD ANGLE	○ DCB	CATCH BASIN
HC	HANDICAPPED	○ DMH	DOUBLE CATCH BASIN
PROPERTY LINE		■ FES	DRAINAGE MANHOLE
ASSESSORS LINE		○ EPM	FLARED END SECTION
TREELINE		○ UP	GUY POLE
GUARDRAIL		○ SMH	ELECTRIC MANHOLE/HANDHOLE
FENCE		○ UP	UTILITY/POWER POLE
RETAINING WALL		○ SMH	LIGHTPOST
STONE WALL		○ SMH	SEWER/SEPTIC MANHOLE
MINOR CONTOUR LINE		○ SMH	SEWER VALVE
MAJOR CONTOUR LINE		○ SMH	CLEANOUT
WATER LINE		○ SMH	HYDRANT
SEWER LINE		○ SMH	IRRIGATION VALVE
SEWER FORCE MAIN		○ SMH	WATER VALVE
GAS LINE		○ SMH	WELL
ELECTRIC LINE		○ SMH	MONITORING WELL
OVERHEAD WIRES		○ SMH	UNKNOWN MANHOLE
DRAINAGE LINE		○ SMH	GAS VALVE
WETLAND 50' PERIMETER		○ SMH	WETLAND FLAG
RIVER/STREAM 100' PERIMETER		○ SMH	BENCH MARK
SOIL LINE		○ SMH	BUSH
FEMA LINE		○ SMH	TREE



Diprete Engineering



Two Stafford Court, Cranston, RI 02920
tel:401-943-1000 fax:401-664-6006 www.diprete-eng.com

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NO.	DATE	DESCRIPTION	BY:
0	09/29/21	PRE-APPLICATION PLAN SUBMISSION	K.M.R.
1	09/29/21	DESIGN	BY: K.M.R.

Existing Conditions Plan

ONE METRO CENTER BLVD

ASSESSOR'S PLAT 278 LOT 145

WARWICK, RHODE ISLAND

AR BUILDING COMPANY

310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046

TEL 724-741-2307

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DEVELOPMENT DATA:

TOTAL SITE AREA:	8.5± ACRES
TOTAL NUMBER OF BUILDINGS:	3
PAVEMENT WIDTH:	24'
WETLAND AREA:	0.8± ACRES

UNITS	BUILDING A	BUILDING B	BUILDING C	TOTAL
STUDIO	24	24	32	80
ONE BEDROOM	32	32	24	88
TWO BEDROOM	28	28	36	92
UNIT TOTAL:	84	84	92	260

TOTAL BEDROOMS:	260
-----------------	-----

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	G1	O (PDR)
UNDERLYING ZONE	REQUIRED	REQUIRED
MINIMUM LOT AREA:	60,000 SF	40,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	60'	175'
MINIMUM FRONT AND CORNER SIDE YARD:	25'	35'
MINIMUM SIDE YARD:	15'	25'
MINIMUM REAR YARD:	20'	35'
MAXIMUM STRUCTURE HEIGHT:	45'	35'
MINIMUM LANDSCAPE OPEN SPACE:	10%	15%

*ZONING REQUIREMENTS ARE CALCULATED ASSUMING A REZONE TO THE O DISTRICT WITH PDR OVERLAY DISTRICT APPLIED

G1 ZONING ORDINANCE REFERENCES:

1. A COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE IN AN INDUSTRIAL DISTRICT SHALL BE SET BACK AS REQUIRED IN FOOTNOTE (2) ABOVE. AN INDUSTRIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40 FEET FROM AN ABUTTING COMMERCIAL DISTRICT. A SETBACK OF 100 FEET SHALL BE REQUIRED WHEREVER SUCH INDUSTRIAL BUILDING OR USE ABUTS ANY DISTRICT LISTED IN FOOTNOTE (2) ABOVE. -- (BELOW)
2. FOOTNOTE 2: A COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40 FEET FROM AN ABUTTING RESIDENCE DISTRICT, FOR OVERLAY DISTRICT, RESIDENTIAL PUD OVERLAY DISTRICT, AND OPEN SPACE DISTRICT, WHERE THE OPEN SPACE DISTRICT CONTAINS A PARCEL OF LAND 5,000 SQUARE FEET OR MORE INCLUDING WETLANDS, AS DEFINED IN SUBSECTION 200.14.6.

DENSITY:

TOTAL SITE:	8.5 AC
WETLAND AREA:	0.8 AC
TOTAL DEVELOPABLE AREA:	7.7 AC
ALLOWED DENSITY:	12 UNITS/ACRE
ALLOWED DENSITY CALCULATION:	7.7 X 12 UNITS/ACRE = 93 UNITS
PROPOSED DENSITY:	260 UNITS

PARKING REGULATIONS:

PARKING USE:	MULTI-FAMILY
PARKING REQUIREMENT:	2.5 SPACES PER DWELLING UNIT
BUILDING UNITS:	260 UNITS
REQUIRED PARKING CALCULATIONS:	2.5 X 260 = 650 SPACES
ADA PARKING REQUIREMENT:	13 SPACES
ADA VAN PARKING REQUIREMENT:	2 SPACES
PARKING SPACES:	650
ADA PARKING SPACES:	9
PARKING SPACE SIZE:	9' X 18'
PARKING AISLE WIDTH:	24'

REQUIRED	PROVIDED
650	248 (SURFACE)
	117 (COVERED)
	365 (TOTAL)
	9
	9' X 18'
	24'

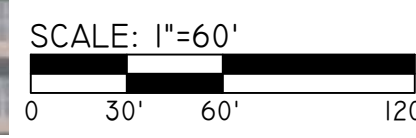
GENERAL NOTES:

1. THE SITE IS PROPOSED TO BE BUILT IN (1) PHASE.
2. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND SEWER.
3. THE DRAINAGE SYSTEM WILL MEET THE RHODE ISLAND DEM AND CITY OF WARWICK REQUIREMENTS FOR SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
4. DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO THE RIDEM BEST MANAGEMENT PRACTICES.

PROPOSED LEGEND:

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

---	PROPERTY LINE
---	BUILDING SETBACKS
---	RETAINING WALL
---	BUILDING FOOTPRINT
---	BUILDING OVERHANG
---	ASPHALT PAVEMENT
---	CONCRETE
---	NATIONAL HERITAGE AREAS
---	WETLAND 50' PERIMETER
---	RIVER/STREAM 100' PERIMETER
---	4'-5" BERM @ 3:1 SLOPE



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BRANDON D. CARR

REGISTERED PROFESSIONAL ENGINEER CIVIL

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1	09/30/21	ONE METRO CENTER BLVD PLAN SUBMISSION	K.P.R.
2	10/10/21	DATE	B.T.
3	10/10/21	DESCRIPTION	DESIGN BY K.P.R.

SITE LAYOUT PLAN

ONE METRO CENTER BLVD

ASSESSOR'S PLAT 278 LOT 145
WARWICK, RHODE ISLAND

PREPARED FOR
AR BUILDING COMPANY
310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046
TEL 724-741-7207

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SHEET **4** OF 6

PLANTING NOTES:

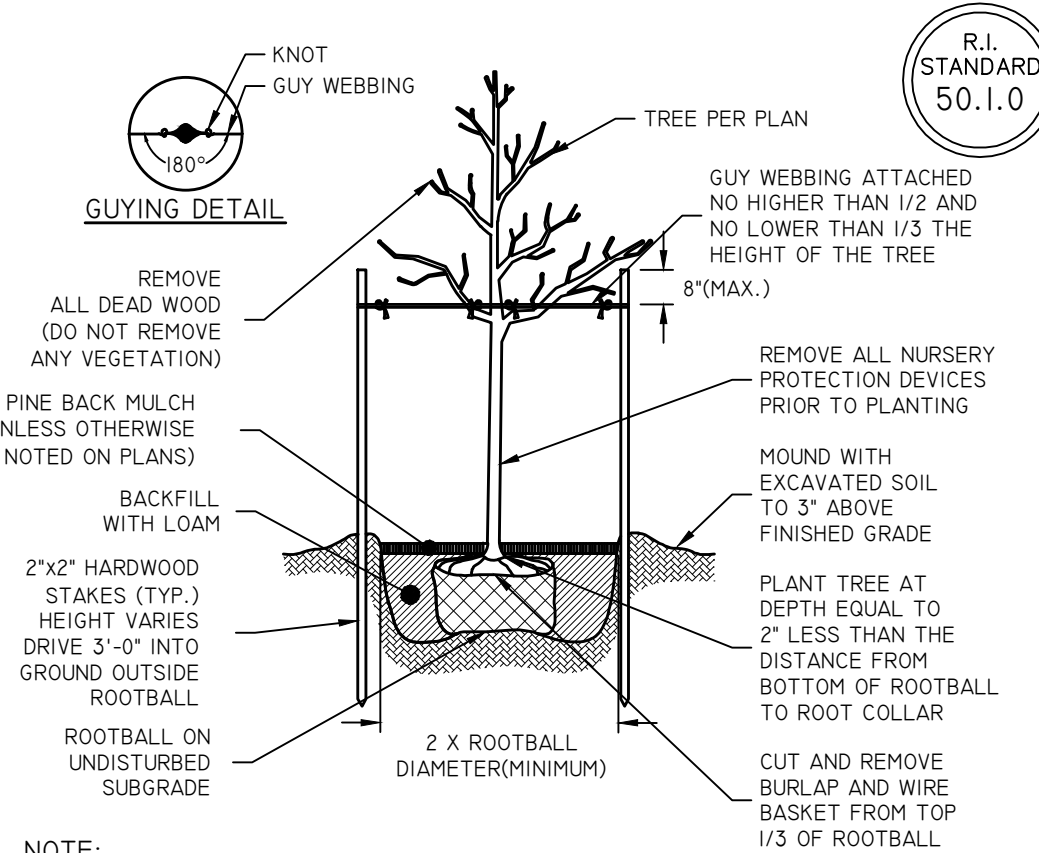
1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
3. CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
4. ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK."

LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.

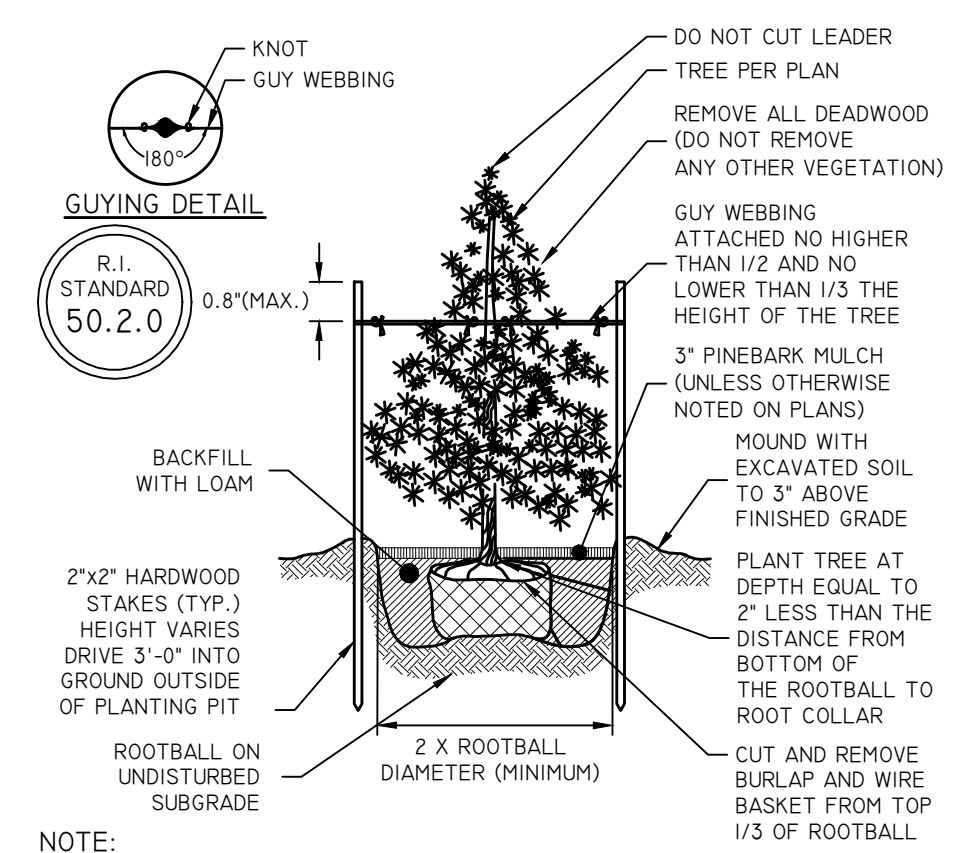
5. PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
6. ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
7. CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
8. ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF UNDEY, SHREDDED PINE BARK MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.

9. TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
10. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE A MINIMUM OF SEVEN FEET ABOVE FINISHED GRADE TO MEET ADA STANDARDS.
11. CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLIENS SEED IN EXETER, RI) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. ANY SOO (TURF) UTILIZED SHALL BE DROUGHT-TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
12. RECOMMENDED DATES FOR PLANTING ARE APRIL 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
13. ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.

14. LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
15. IRRIGATION AND LIGHTING BY OTHERS.
16. THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



LARGE TREE STAKING AND PLANTING DETAIL
(2" CALIPER AND GREATER)



EVERGREEN PLANTING DETAIL
(4'-0" HIGH AND GREATER)

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	BJ	3	Betula jacquemontii	Whitebarked Himalayan Birch	12-14' HT CLUMP
	CKC	12	Cornus kousa	Kousa Dogwood	2.5/3" CAL B&B
	GT	16	Gleditsia triacanthos inermis 'Halka'	Halka Thornless Honey Locust	2.5/3" CAL B&B
	KP	7	Koelreuteria paniculata	Golden Rain Tree	2.5/3" CAL B&B
	PSK	9	Prunus serrulata 'Kwanzan'	Flowering Cherry	2/2.5" CAL B&B
	PO	7	Prunus x okame	Okame Cherry	3.5/4" CAL B&B
	PC	9	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.5/3" CAL B&B
	SJ	1	Styrax japonicus	Japanese Snowbell	7/8' CLUMP
	TC	10	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5/3" CAL B&B
	ZS	22	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.5/3" CAL B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	PG	18	Picea glauca	White Spruce	7/8' HT

SCALE: 1"=60'
0 30' 60' 120'



DiPrete Engineering
950 Shattuck Avenue, Suite 300, Framingham, MA 01906
Tel: 508-949-9500 Fax: 508-949-6006 www.diprete-eng.com

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BRANDON D. CARR
REGISTERED PROFESSIONAL ENGINEER
CIVIL
10/01/2018

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DATE: 09/30/21
NO.: 22-01
DESCRIPTION: ONE METRO CENTER BLVD. PLAT 278 LOT 145
DRAWN BY: K.P.R.
DESIGN BY: B.D.C.

LANDSCAPE PLAN & DETAILS
ONE METRO CENTER BLVD
ASSESSOR'S PLAT 278 LOT 145
WARWICK, RHODE ISLAND

PREPARED FOR:
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